



AGENDA

APOPKA CITY COUNCIL WORKSHOP

March 29, 2017 @ 1:30 PM

City Hall Council Chamber

120 East Main Street – Apopka, Florida 32703

CALL TO ORDER

DISCUSSION

This workshop gives the opportunity for the City Council to review and discuss any questions or concerns on the following agenda item(s):

1. Fire Station #5 update and anticipated costs presented by the Fire Department and Miller Construction.

ADJOURNMENT

Workshop meetings are opportunities for City Council to discuss specific issues among themselves and with Staff in an open meeting and to provide policy guidance to staff on items which are not ready for official action. The public is always welcome to attend, and is welcome to provide comments regarding Workshop items to the Council and Staff outside a meeting. Public comment will not be heard during a Workshop meeting, but public comment on Workshop items are welcome at the very next regular City Council meeting following a Workshop meeting. [Resolution 2016-16: Public Participation Policy & Procedures]

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, not later than five (5) days prior to the proceeding.

Backup material for agenda item:

1. Fire Station #5 update and anticipated costs presented by the Fire Department and Miller Construction.

Apopka Fire Station No. 5

1659.01

1685 Firehouse Lane
Apopka, FL 32703



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Civil

Gadd - Case
1925 US Highway 98 South
Lakeland, Florida 33801
p 863.940.9979
RODNEY@GADD-CASE.COM

Structural

Fullone Structural Group
9600 Koger Blvd, North, Suite 227
St. Petersburg, FL 33702
p 727.577.2222
Joe@fulloneSG.com

Mechanical/ Plumbing/ Electrical

MES Group, Inc.
550 North Reo Street, Suite 203
Tampa, FL 33609
p 813.289.4700
f 813.884.0045

DRAWING INDEX		60% SFT	95% SFT	90% SFT	PERMIT	REV 1	00.00.00	SHEET #	SHEET TITLE	60% SFT	95% SFT	90% SFT	PERMIT	REV 1	00.00.00
A-CVR	Cover Sheet	•													
General															
Survey	Topo Survey														
G-002	General Notes	•													
Civil															
C-000	Civil Cover Sheet	•													
C-100	General Notes	•													
C-200	Existing Conditions	•													
C-300	Storm Water Pollution Prevention Plan	•													
C-400	Demolition Plan	•													
C-500	Geometry Plan	•													
C-600	Grading & Drainage Plan	•													
C-601	Roof Drain & Sidewalk Grading Plan	•													
C-602	Pond Plan & Sections	•													
C-700	Utility Plan	•													
C-701	Utility Plan	•													
C-800	General Details	•													
C-900	Utility Details	•													
Structural															
S-101	Structural Specifications, Wind Design Data & Load Schedule	•													
S-201	Foundation Plan	•													
S-202	Roof Framing Plan	•													
S-301	Typical Details	•													
S-302	Typical Details	•													
S-303	Typical Details	•													
Architectural															
A-100	Dimensioned Floor Plan	•													
A-101	Noted Floor Plan	•													
A-110	Reflected Ceiling Plan	•													
A-201	Exterior Elevations	•													
A-301	Building Sections	•													
Mechanical															
M-001	Schedule, Legend & Notes - Mechanical	•													
M-101	Floor Plan - Mechanical	•													
M-102	Higher Elevation Plan - Mechanical	•													
M-103	Refrigerant and Condensate Plan - Mechanical	•													
M-104	Roof Plan - Mechanical	•													
M-501	Details - Mechanical	•													
Fire Protection															
F-001	Schedule, Legend & Notes - Fire Protection	•													
F-101	Floor Plan - Fire Protection	•													
F-102	Attic Plan - Fire Protection	•													
Plumbing															
P-001	Schedule, Legend & Notes - Plumbing	•													
P-101	Floor Plan - Plumbing	•													
P-901	Isometrics - Plumbing	•													
Electrical															
E-001	Abbreviations, Legend & Notes - Electrical	•													
ES-001	Site Plan - Lighting	•													
E-101	Floor Plan - Lighting	•													
E-201	Floor Plan - Power	•													
E-501	Details - Electrical	•													
E-502	Details - Electrical	•													
E-601	Riser Diagram - Electrical	•													
E-602	Schedules - Electrical	•													

CONSTRUCTION DRAWINGS FOR APOPA FIRE STATION NO. 5



NOT FOR
CONSTRUCTION
FOR REVIEW ONLY

RICHARD A. GADD, P.E.
FLA. P.E. No. 70875

DATE
GADD CASE & ASSOCIATES
PROJECT #1015.19

SHEET INDEX	
#	DESCRIPTION
C-000	COVER SHEET
C-100	GENERAL NOTES
C-200	EXISTING CONDITIONS
C-300	STORMWATER POLLUTION PREVENTION PLAN
C-400	DEMOLITION PLAN
C-500	GEOMETRIC PLAN
C-600	GRADING & DRAINAGE PLAN
C-601	ROOF DRAIN & SIDEWALK GRADING PLAN
C-602	FOUND PLAN & SECTIONS
C-700-701	UTILITIES PLAN
C-800	GENERAL DETAILS
C-900	UTILITIES DETAILS
	SURVEY & OTHERS

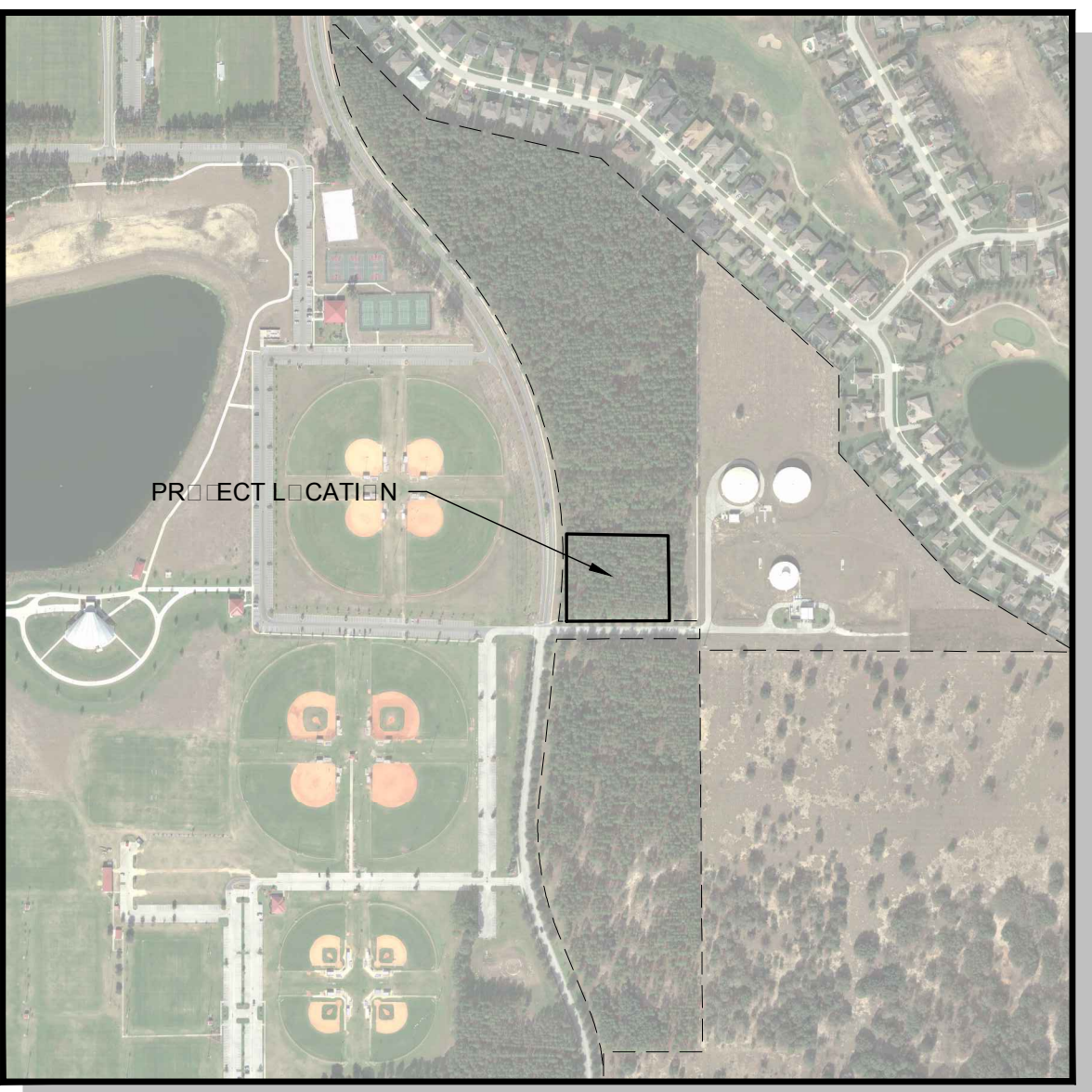
CONTRACTOR SHALL TITLE THE FOLLOWING FOOTNOT REFERENCES AS APPROPRIATE	
#	DESCRIPTION
600	General Information or Traffic Control Through Work Zones
601	Traffic Lane, Traffic Work Outside Shoulder
602	Traffic Lane, Traffic Work on Shoulder
603	Traffic Lane, Traffic Work Within the Travel Way
660	Pedestrian Control or Closure of Sidewalks

TABLE OF FOOT INDEX REFERENCE	
#	DESCRIPTION
232	DITCH BOTTOM INLETS - TYPES C, D, E AND H
272	CROSS DRAIN MITERED END SECTION
11860	SINGLE COLUMN GROND SIGNS

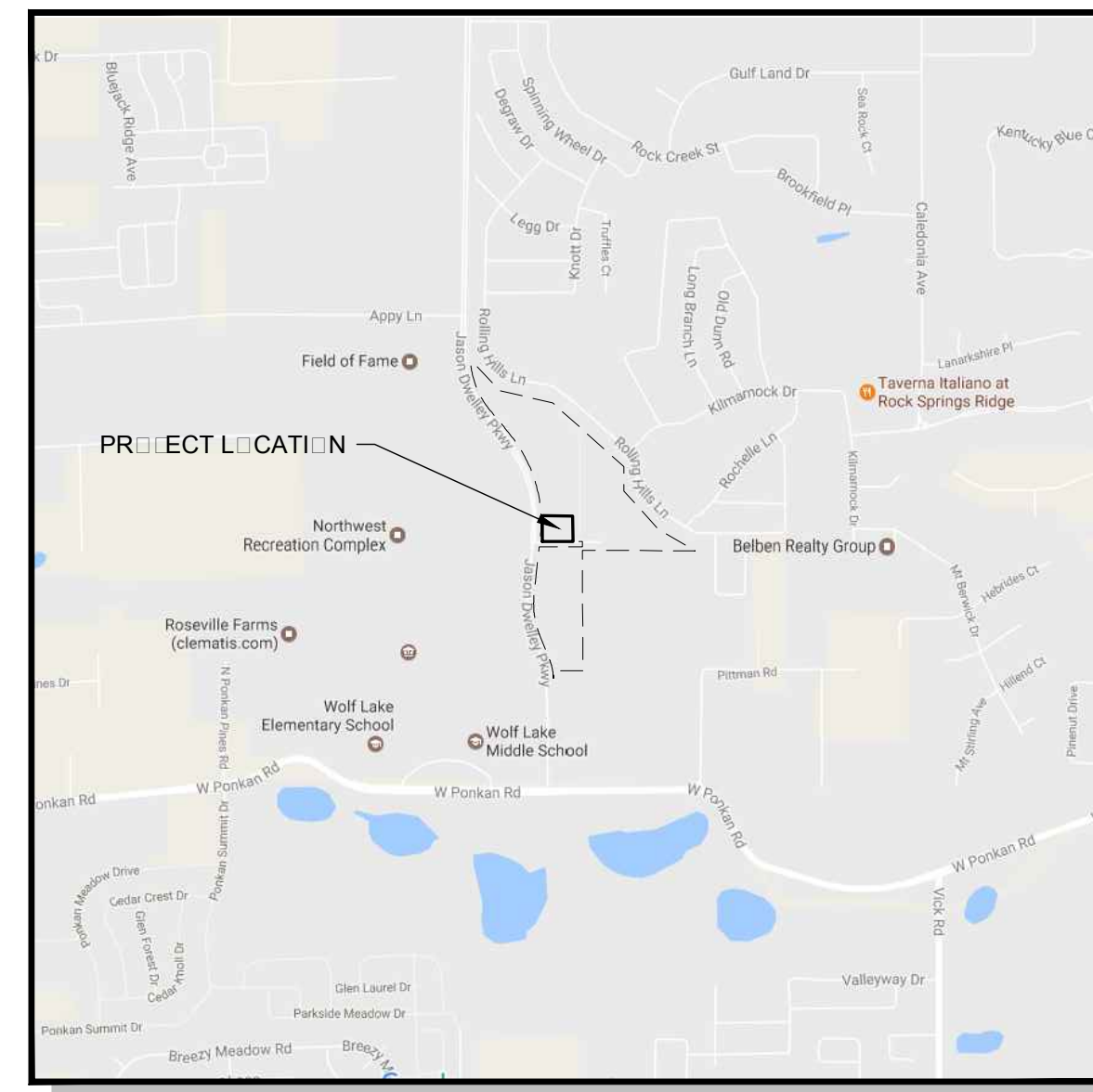
LEGAL DESCRIPTION

RANGE COUNTY, FLORIDA APPOPA

PT OF SECTIONS 19 & 20-20-28 DESC AS NW1/4 SW1/4 W3/4 SW1/4 SW1/4 NW1/4
LESS LEG NE CORNER NW1/4 TH R/W 2568.95 FT S 550 FT S 00 DEG E 0.82 FT S 77 DEG E
600.00 FT S 08 DEG E 1075 FT S 275 FT S 02 DEG E 580 FT S 59 DEG E 075 FT T/S LINE OF NW1/4
TH E TO SE CORNER NW1/4 TH N TO POB ALL IN SEC 20 & E1/4 OF SEC 19 LESS THAT PT LING
SW1/4 OF PINNAC RD LESS THAT PT PLATTED AS RECREATION WA PER P 53.106 LESS
THAT PART DESC AS COMM AT INT OF W LINE OF SEC 20-20-28 & N R/W OF PINNAC RD THENCE
N ALONG W LINE OF SEC 20 FT R/W 678.93 FT N 23 FT E 220 FT N 761.59 FT W 2231.59 FT
S 886.09 FT SE ALONG CORNER 350.07 FT S 88 DEG E 990.06 FT TO POB LESS THAT PART
LING S OF A 1/4 E DESC CORNER OF SEC 19-20-28 TH R/W 585-38-12W 601.00 FT
S00-2-12E 13.9 FT N86-3-15E 600.8 FT S00-2-12E 60 FT N88-5-58E 31.85 FT N88-5-58E 27.50
FT S00-2-12E 330.02 FT S88-5-58W 27.50 FT S00-2-12E 1021.01 FT N87-30-02E 1008.19 FT
N00-09-9W 1356.21 FT N00-09-9W 1356.21 FT N89-0-7W 1333.79 FT TO POB LESS THAT PT
LING W OF ASIN DWELLE PAR WA P: 67 PG 3



AERIAL MAP
SECTION 20, TOWNSHIP 20 S, RANGE 28 E



VICINITY MAP
SECTION 20, TOWNSHIP 20 S, RANGE 28 E

SITE CHARACTERISTICS	
1. PROJECT DESCRIPTION	CONSTRUCTION OF NEW ± 7,717 SF FIRE STATION, PARKING, AND ASSOCIATED STORM WATER MANAGEMENT SYSTEM
2. PROJECT LOCATION INFORMATION	SITE IS LOCATED 3200' ASIN DWELLE PAR WA PROJECT TAX ID# 20-20-28-0000-00-001 PROJECT ACREAGE 457.56 AC FEMA FLOOD ZONE S MAP NUMBER 12095C0110 F EFFECTIVE DATE SEPTEMBER 25, 2009
3. ZONING AND LAND USE	XXXX
4. DEVELOPMENT CHARACTERISTICS	PROJECT AREA 42.3AC SETBACKS FRONT ASIN DWELLE PAR WA 25 FT SIDE 10 FT REAR 10 FT PRIPRISED ISAR 33,908 SF 2,507,210 SF 00.00% FAR 7,717 SF 2,507,210 SF 00.00%
5. PARKING REQUIREMENTS	PARKING REQUIREMENTS 1 SPACE PER 100 SF IF THERE ARE SLEEPING QUARTERS OR 1 SPACE PER STAFF MEMBER 1 ACCESSIBLE SPACE 7 STAFF MEMBERS 1 ACCESSIBLE SPACE 8 SPACES HANDICAP REQUIRED 0 SPACES
PARKING PROVIDED	REGULAR SPACES 19 (10 @ 20) HANDICAP SPACES 1 (12 @ 20) TOTAL SPACES 20
6. CONTACTS	MEGAN ANASTETINA DISENERG 2501 25 TH ST N ST PETERSBURG, FL 33713 PH: 727-893-9399 T: LESLIE CENTRAL LINE 33 N MAIN ST ROOM 100 WINTER GARDEN, FL 32787 PH: 813-5293

PROVIDE SUBMITTALS TO
RICHARD A. GADD, PE
GADD CASE & ASSOCIATES, LLC
1925 US HIGHWAY 98 S, SUITE 201
LAKELAND, FL 33801
PHONE: 863-940-9979
EMAIL: RICHARD@GADD-CASE.COM

OWNER
RICHARD A. GADD, P.E.
CITY OF APPOPA, PUBLIC SERVICES DIR.
718 CLELAND ST.
APPOPA, FL 32703
PHONE: 863-703-1731
FAX: 863-703-1718
EMAIL: RICHARD@APPOPA.NET

CLIENT
LINDSEY FOWLER ARCHITECTS
58 LAEMERTON DRIVE
LAKELAND, FL 33801-5344
PHONE: 863-682-1882
FAX: 863-687-6346

IT IS THE INTENTION OF THESE DOCUMENTS TO PROPOSE
CONSTRUCTION IN ACCORDANCE WITH THE FLORIDA
BUILDING CODE AND FLORIDA ACCESSIBILITY CODE LATEST
EDITION. CONTRACTOR SHALL BE FAMILIAR WITH THESE
DOCUMENTS AND ASSURE PERFORMANCE.

CONTRACTOR IS RESPONSIBLE FOR HIRING A QUALIFIED
UNDERGROUND UTILITARIAN. THE UNDERGROUND
UTILITARIAN SHALL LOCATE EXISTING UTILITIES IN
PROJECT AREA PRIOR TO DEMOLITION AND CONSTRUCTION.

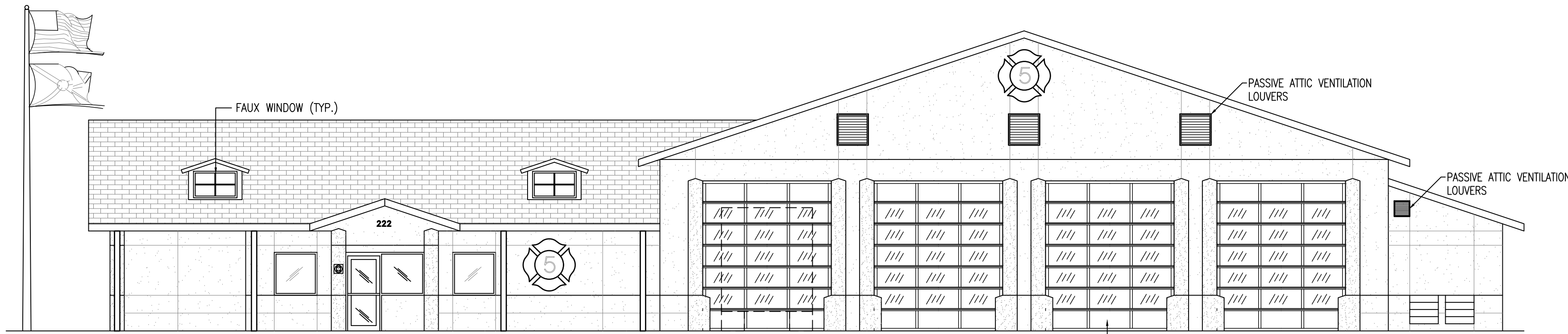
CONSTRUCTION MATERIALS, QUALITY, AND WORKMANSHIP
SHALL BE IN ACCORDANCE WITH CITY OF APPOPA AND
FOOT SPECIFICATIONS AND STANDARDS, AND THE MANUAL
ON INFILTRATION TRAFFIC CONTROL DEVICES.



Apopka Fire Station No. 5
1665 Firehouse Lane
Apopka, FL 32703
Cover Sheet

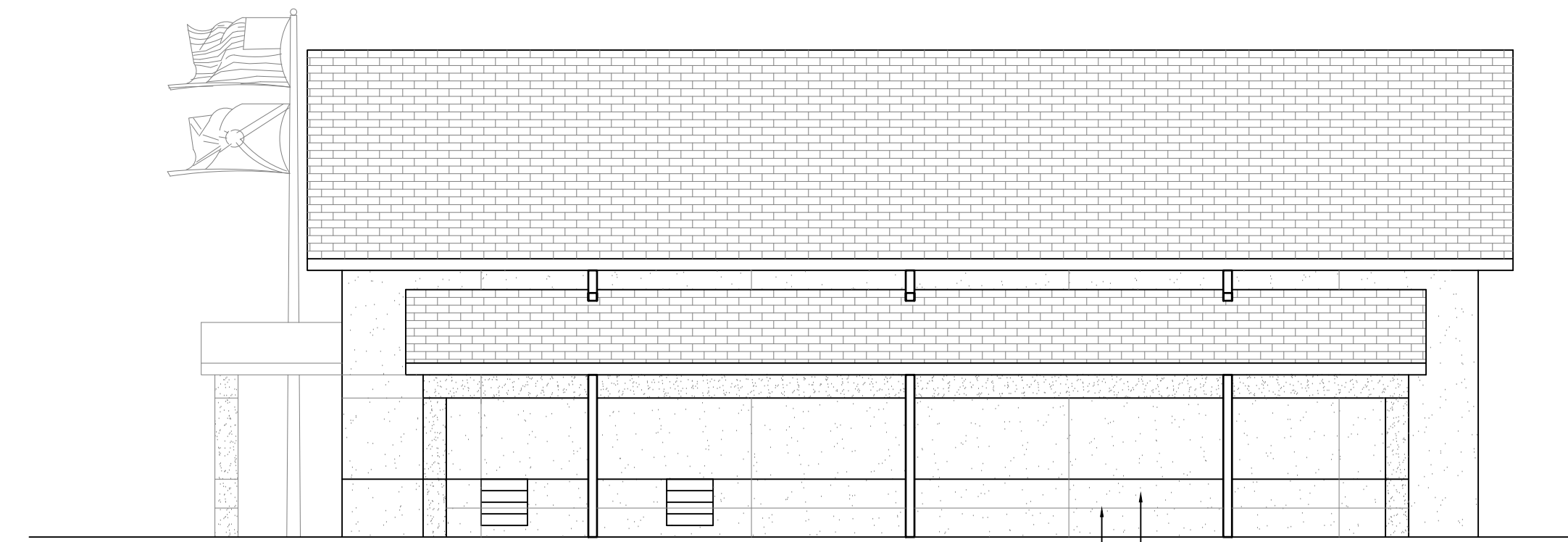
REVISION	DATE
ISSUED FOR CONSTRUCTION:	--
ISSUED FOR PERMIT:	03.31.17
ISSUED FOR BID:	03.31.17
ISSUED FOR 60% APPROVAL:	03.31.17

DRAWN BY: RLS
REVIEW BY: RG
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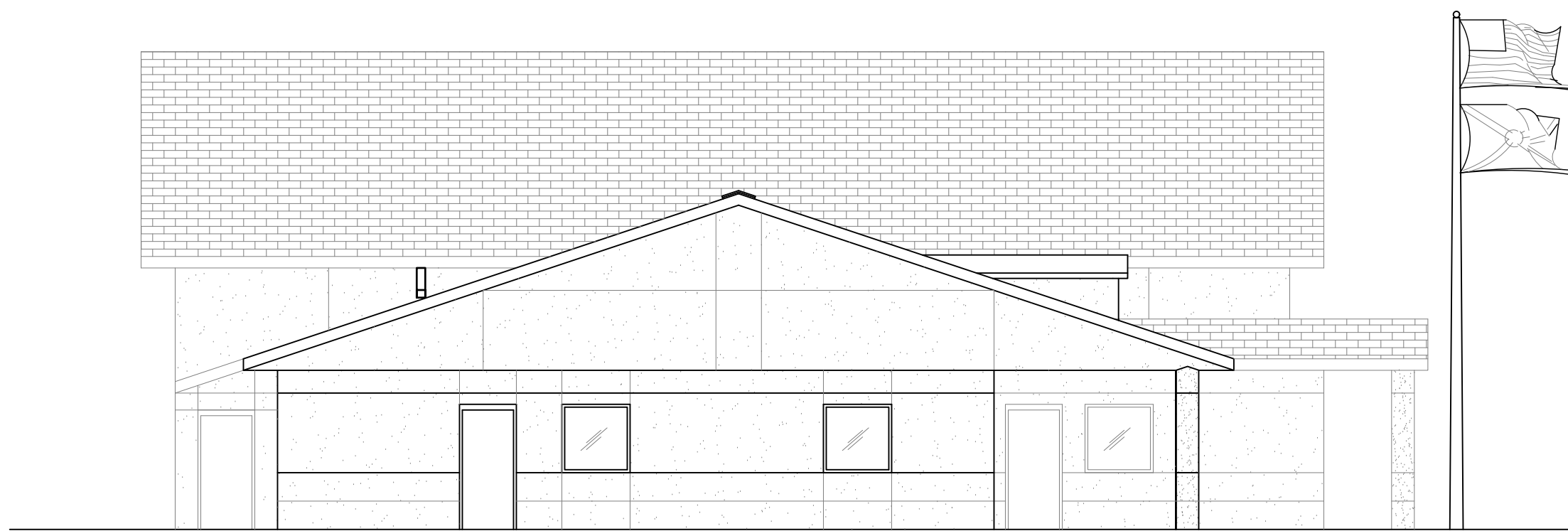
South Elevation

1/8" = 1'-0"
0 4' 8'



East Elevation

1/8" = 1'-0"
0 4' 8'



West Elevation

1/8" = 1'-0"
0 4' 8'



North Elevation

1/8" = 1'-0"
0 4' 8'

Apopka Fire Station No. 5

1685 Firehouse Lane
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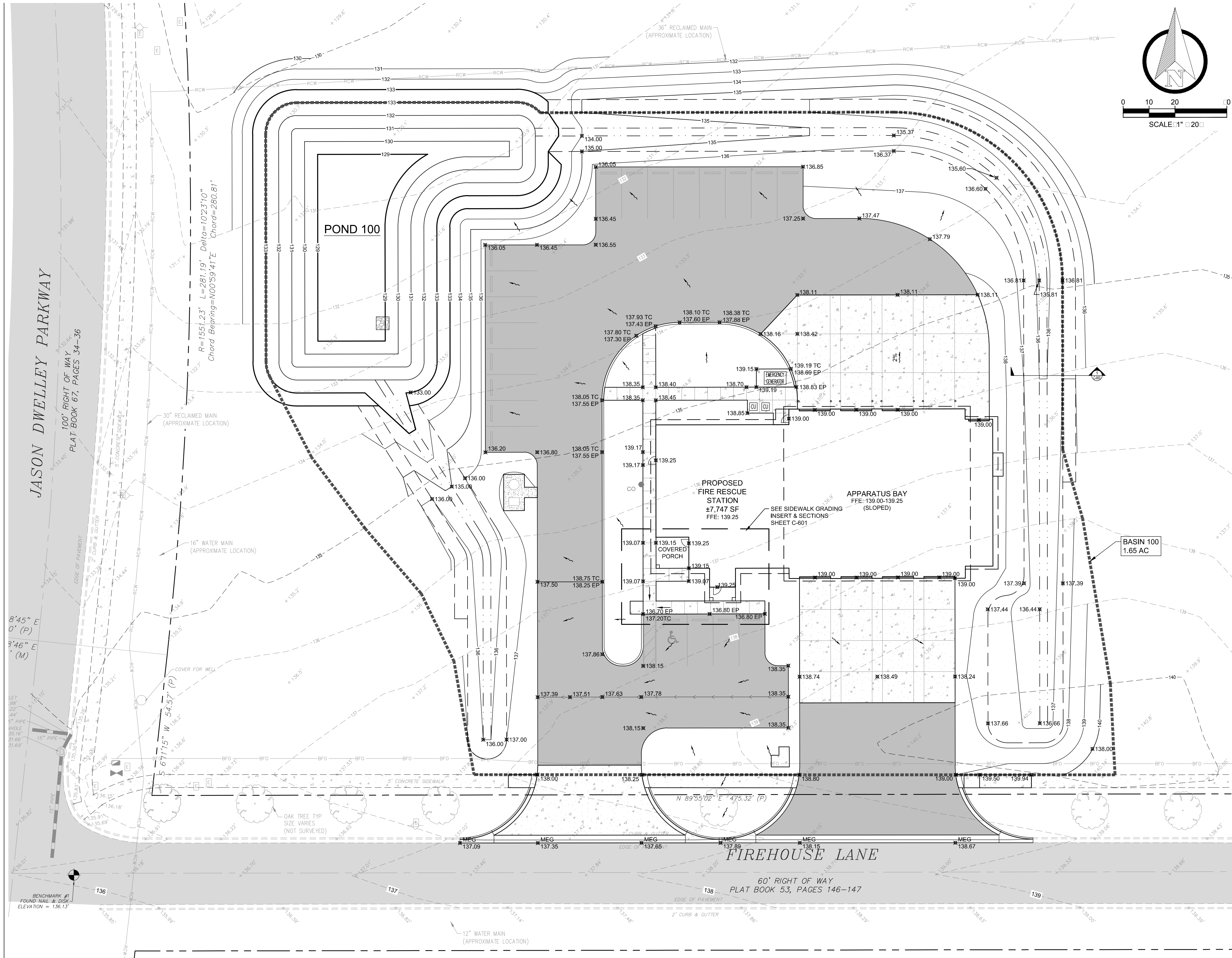
Exterior Elevations

REVISION:
REVISION:
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ISSUED FOR PERMIT:	04.10.17
ISSUED FOR BID:	04.10.17
ISSUED FOR 60% APPROVAL:	03.17.16

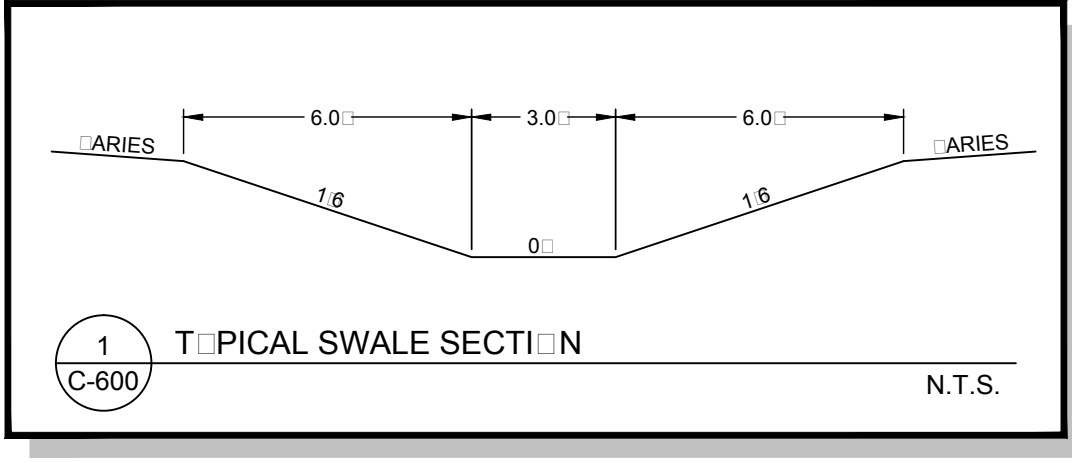
DRAWN BY: G. Seligsohn
REVIEW BY: B. Lunz

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- SITE SPECIFIC NOTES:**
1. CONTRACTOR TO BECOME FAMILIAR WITH THE PROVIDED WIRE SITE AND EXISTING FEAT. RES. REM. ED. OR DAMAGED. CONTRACTOR TO NOTIFY THE CITY PART OF THIS CONTRACT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
 2. CONTRACTOR TO PROVIDE SM. TH TRANSITIONS AT L. CATI. NS WHERE PROVIDED FEAT. RES. MEET EXISTING FEAT. RES. WHEN CONCRETE OR ASPHALT IS TO BE DEM. LISHED OR REPLACED, THE EXISTING CONCRETE OR ASPHALT IS TO BE SAW CUT.
 3. ALL MEG. ELE. ATI. NS, R. ADWAL. AND UNDERGR. ND ST. RM AND TILT. PIPES SH. WN ARE APPROXIMATE. CONTRACTOR TO VERIFY ELE. ATI. NS PRI. R TO ORDERING STR. CT. RES.
 4. THIS SITE IS INTENDED TO COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND ALL OTHER APPLICABLE STANDARDS. THE CONTRACTOR SHALL DETERMINE THAT COMPLIANCE WITH THE STANDARDS IS NOT IN CONFLICT WITH THE SITE PLAN. OTHER ELEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FEAT. RES. CONTRACTED BY CONTRACTOR THAT ARE NOT IN COMPLIANCE WITH THE STANDARDS, SHALL BE RECONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
 5. CONTRACTOR TO CORRECT REPAIR AND DAMAGE CAUSED TO EXISTING UTILITIES (WATER, SEWER, COMMUNICATIONS, IRRIGATION, ETC.) CAUSED BY THEIR WORK.
 6. THIS SITE IS INTENDED TO COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND ALL OTHER APPLICABLE STANDARDS. THE CONTRACTOR SHALL DETERMINE THAT COMPLIANCE WITH THE STANDARDS IS NOT IN CONFLICT WITH THE SITE PLAN. OTHER ELEMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FEAT. RES. CONTRACTED BY CONTRACTOR THAT ARE NOT IN COMPLIANCE WITH THE STANDARDS, SHALL BE RECONSTRUCTED AT THE CONTRACTOR'S EXPENSE.



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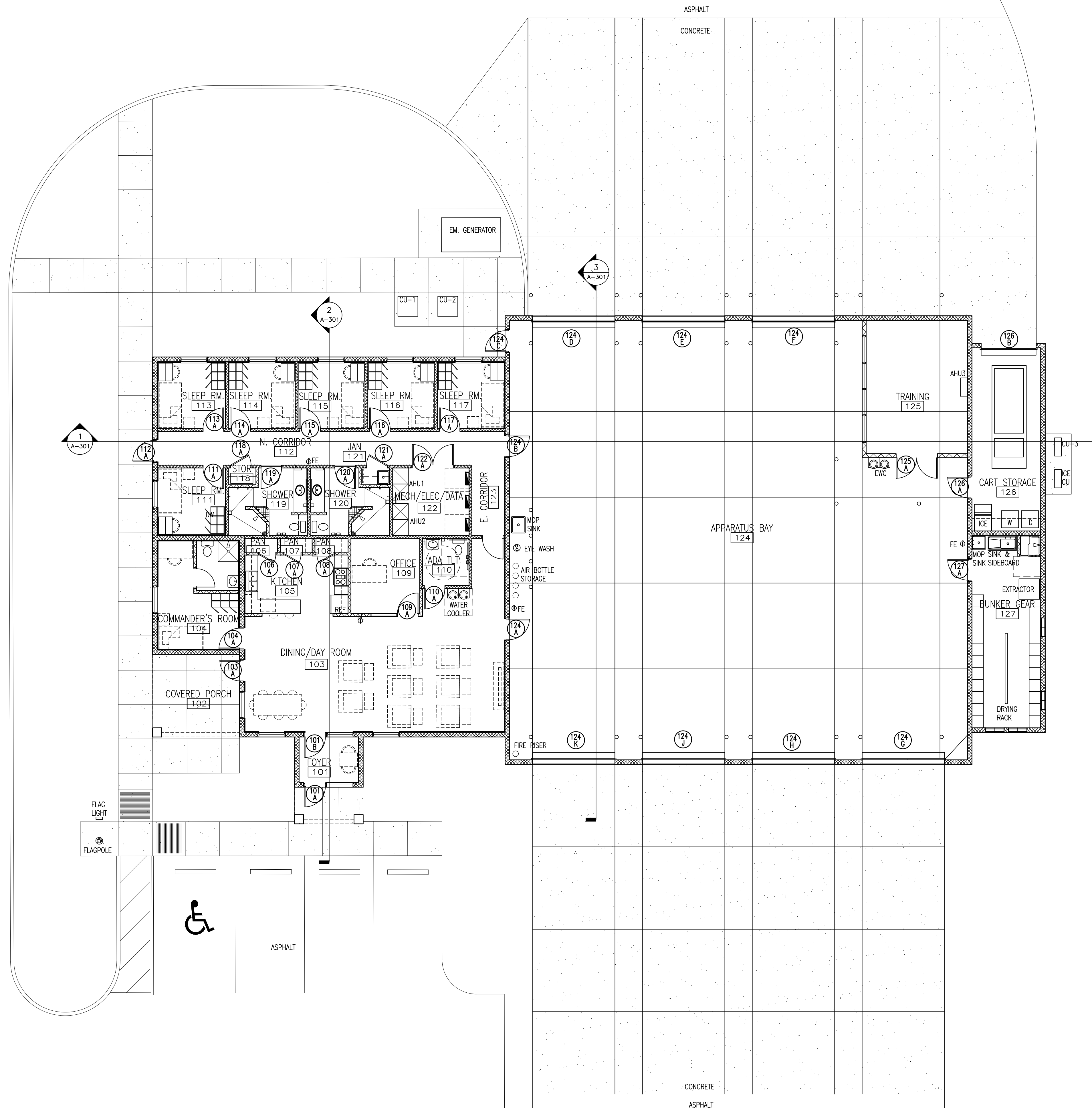
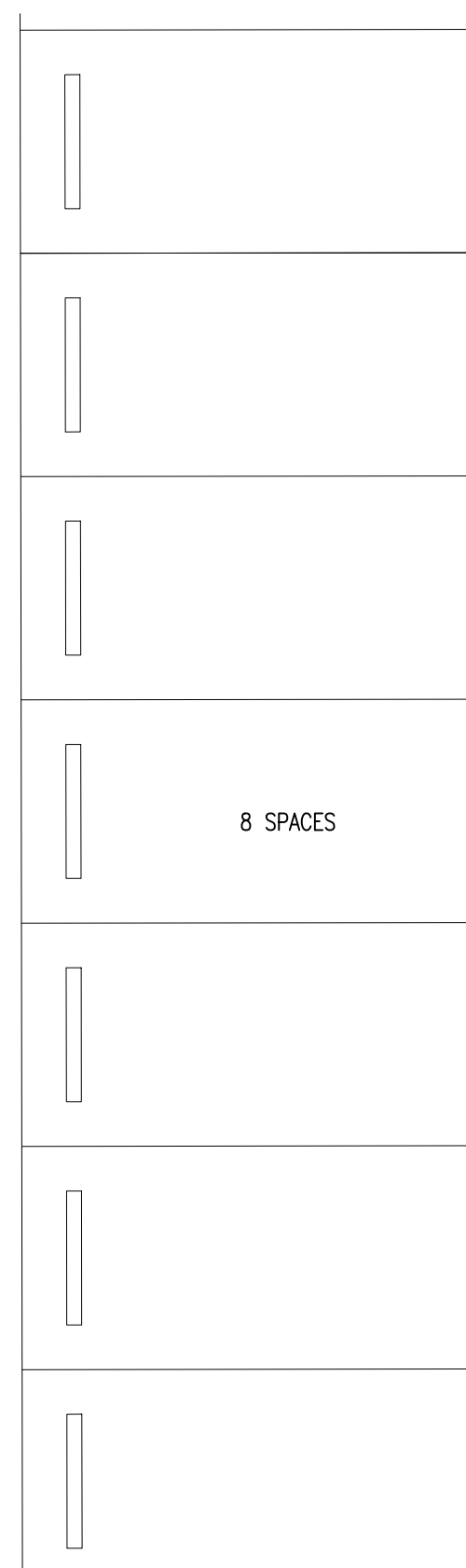
DATE
 GADD & CASE ASSOCIATES
 PROJECT #1015.19

Apopka Fire Station No. 5
 1665 Firehouse Lane
 Apopka, FL 32703
Grading & Drainage Plan

REVISION
REVISION
REVISION
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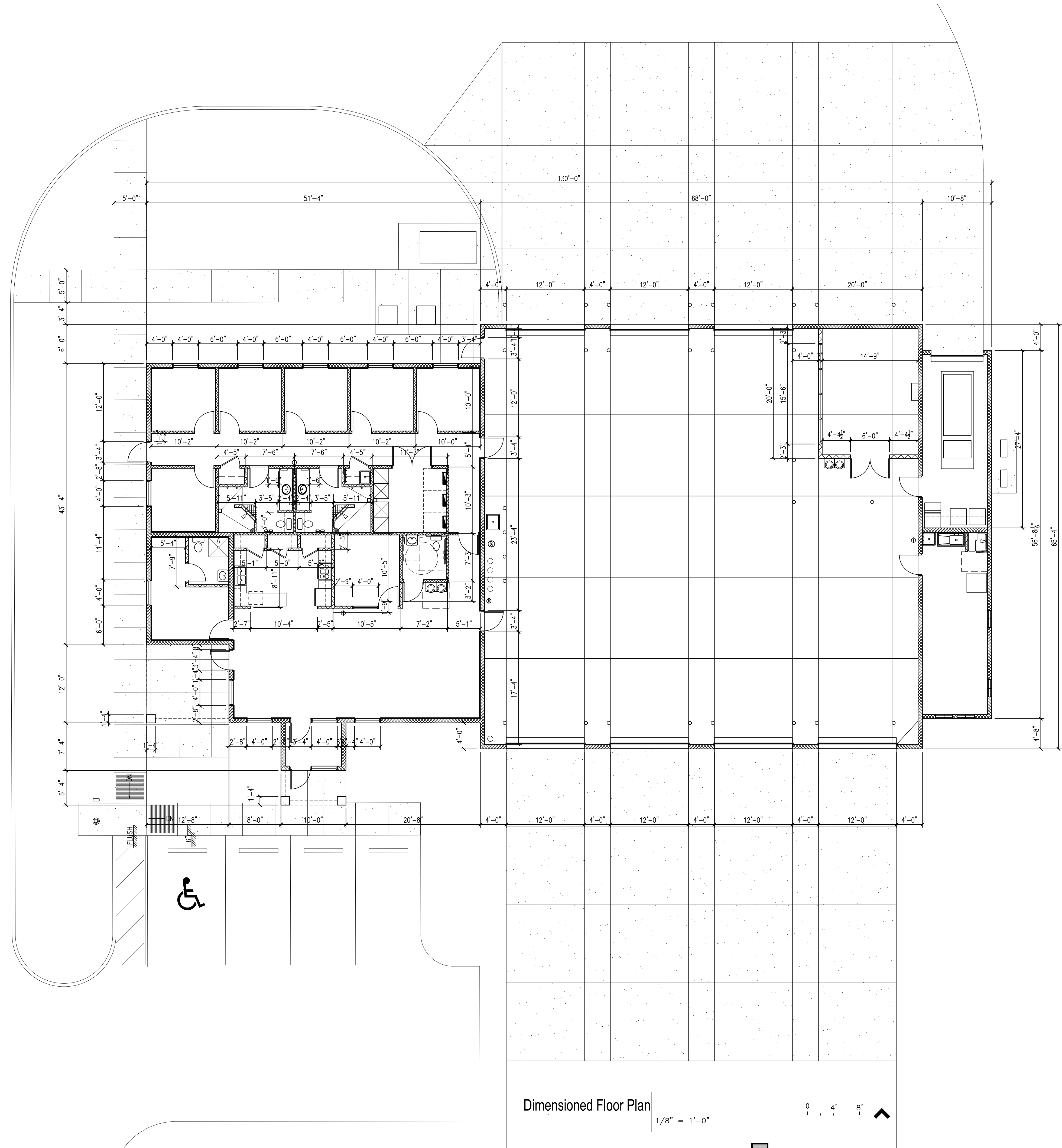
Noted Floor Plan

REVISION:	---
ISSUED FOR CONSTRUCTION:	---
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DRAWN BY: G. Seligge
REVIEW BY: B. Lunz

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Floor Plan
6684 SF | 1/8" = 1'-0"



Apopka Fire Station No. 5

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Dimensioned Floor Plan

REVISION:
REVISION:
REVISION:
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REVIEW BY: B. Lunz

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Dimensioned Floor Plan
1/8" = 1'-0"